



**CITY OF JUSTIN
PLANNING AND ZONING COMMISSION AGENDA
MARCH 19, 2024
415 N. COLLEGE AVE.
6:30 PM**

WORK SHOP SESSION AGENDA (6:30 PM)

- A. Call to Order and Roll Call.
- B. Discuss Talley Blvd Project.
- C. Discuss Strategic Initiatives approved by City Council.
- D. Discuss regular agenda items.
- E. Discuss Range Creek Development and Joint Meeting on March 28th.
- F. Discuss Gas Line Extension on FM 156.
- G. Adjourn

CONVENE INTO REGULAR SESSION AT 7:30 PM

1. CALL TO ORDER AND ROLL CALL

2. PLEDGE OF ALLEGIANCE

3. PUBLIC COMMENT:

In order to the business flow and provide all citizens the opportunity to speak, the Planning & Zoning Commission Chair may impose a three-minute limit on any person addressing the Commission. Speaker slips must be completed prior to speaking. To allow the public the ability to participate in the public comment portion and not attend the meeting in person, the City allows the following: email comments may be submitted with name and address to the Director of Planning and Development Services by 5:00 pm on Tuesday March 19, 2024, to meyr@cityofjustin.com. Staff will read any received email to Commission during the discussion of this item. **Please identify the agenda item to discuss.**

4. CONSENT ITEMS:

- A. Consider approval of the minutes for the January 16, 2024, Planning and Zoning

Commission meeting.

- B. Consider approval of the minutes for the February 20, 2024, Planning and Zoning Commission meeting.

5. PUBLIC HEARING:

- A. Conduct a Public Hearing to hear concerns for or against a Specific Use Permit for the Gaston House legally described THE PRESERVE PHASE 1 BLK 6 LOT 23-27X. Generally located southwest from the intersection of FM 407 and Boss Range Road.
- B. Consider and act upon a recommendation to City Council for a Specific Use Permit for the Gaston House legally described THE PRESERVE PHASE 1 BLK 6 LOT 23-27X. Generally located southwest from the intersection of FM 407 and Boss Range Road.
- C. Conduct a Public Hearing amending the Planned Development (GB-PD) Standards for Justin Town Square. The amendment is proposed for the properties legally described as LOTS 1 - 7, BLOCK 1, LOTS 1-3, BLOCK 2, LOT A, BLOCK 3, LOT A, BLOCK 4, HARDEMAN CENTRE ADDN PH 1 BLK 2 LOT 1, JWR 711 ADDITION BLK A LOT 3, JWR 711 ADDITION BLK A LOT 2, JWR 711 ADDITION BLK A LOT 1.
- D. Consider and act upon a recommendation to City Council amending the Planned Development (GB-PD) Standards for Justin Town Square. The amendment is proposed for the properties legally described as LOTS 1 - 7, BLOCK 1, LOTS 1-3, BLOCK 2, LOT A, BLOCK 3, LOT A, BLOCK 4, HARDEMAN CENTRE ADDN PH 1 BLK 2 LOT 1, JWR 711 ADDITION BLK A LOT 3, JWR 711 ADDITION BLK A LOT 2, JWR 711 ADDITION BLK A LOT 1.

6. FUTURE AGENDA ITEMS:

- A. Reserve at Meadowlands Ph I
- B. Trafford Terrace

7. DEVELOPMENT UPDATE:

- A. Development Update

8. EXECUTIVE SESSION :

Any item on this posted agenda could be discussed in Executive Session as long as it is within one of the permitted categories under sections 551.071 through 551.076 and Section 551.087 of the Texas Government Code.

9. ADJOURNMENT:

I, the undersigned authority, do hereby certify that the above notice of the meeting of the City Planning & Zoning Commission of the City of Justin, Texas, is a true and correct copy of the said notice that I posted on the official bulletin board at Justin Municipal Complex, 415 North College Street, Justin, Texas, a place of convenience and readily accessible to the general public at all times.

Said notice has been posted this 15th day of March by 5:00 p.m., at least 72 hours preceding the scheduled meeting time.

Matthew Cyr

Matthew Cyr, Director of Planning and Development Services

NOTE: THE CITY OF JUSTIN COUNCIL CHAMBERS ROOM IS ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. THE CITY WILL PROVIDE SIGN LANGUAGE INTERPRETERS FOR THE HEARING IMPAIRED, IF REQUESTED AT LEAST 48 HOURS IN ADVANCE OF THE SCHEDULED MEETING. PLEASE CALL THE CITY DEVELOPMENT SERVICES DEPARTMENT



PLANNING & ZONING COMMISSION

REGULAR MEETING MINUTES TUESDAY, JANUARY 16, 2024

JUSTIN CITY HALL
415 NORTH COLLEGE STREET

Members Present:

Scott Hill, Emily Krzyzek, Vicente Barrientos, Gary Davis, and David Beck.

Staff Present:

Matt Cyr, Director of Planning and Development Services

WORK SHOP SESSION AGENDA (6:30 PM)

- A. Call to Order and Roll Call.
- B. Briefing regarding the January 11th Council Meeting.
 - a. Discuss Strategic Vision Workshop
- C. Discuss North Central Texas Council of Governments Training from January 10th and January 11th.
- D. Discuss update on the Atmos Gas line extension to Justin Town Square.
- E. Discuss FM 1171 Update.
- F. Discuss Update on New Gen Study.
- G. Discuss regular agenda items.
- H. Adjourn.

The work session adjourned at 7:26pm.

CONVENE INTO REGULAR SESSION AT 7:30 PM

Chairman Beck started the meeting at 7:30 pm.

1. CALL TO ORDER AND ROLL CALL

Chairman Beck called roll. The following members were present:

Scott Hill, Emily Krzyzek, Vicente Barrientos, Gary Davis, and David Beck.

2. PLEDGE OF ALLEGIANCE

3. PUBLIC COMMENT:

In order to the business flow and provide all citizens the opportunity to speak, the Planning & Zoning Commission Chair may impose a three-minute limit on any person addressing the Commission. Speaker slips must be completed prior to speaking.

To allow the public the ability to participate in the public comment portion and not attend the meeting in person, the City allows the following: email comments may be submitted with name and address to the Director of Planning and Development Services by 5:00 pm on Tuesday, January 16, 2024, to mcyr@cityofjustin.com. Staff will read any received email to Commission during the discussion of this item. **Please identify the agenda item to discuss.**

Chairman Beck opened the floor to Public Comment at 7:33pm

No one came forward.

Chairman Beck closed the floor to Public Comment at 7:34 pm.

4. CONSENT ITEMS:

Staff gave a brief presentation on the item.

- A. Consider approval of the minutes for the October 17, 2023, Planning and Zoning Commission meeting.
- B. Consider approval of the minutes for the December 19, 2023, Planning and Zoning Commission meeting.
- C. Consider and act upon a recommendation to City Council for a Final Plat for Ladera Timberbook, legally described as Lot 1 Block A. Generally located northwest from the intersection of FM 407 and Timberbook Parkway.
- D. Consider and act upon a recommendation to City Council for a Final Plat for Timberbrook Phase 7 legally described as LOTS 1-50, 51X, BLOCK 39, LOTS 1-12, BLOCK 40, LOTS 13-16, BLOCK 45, LOTS 1-16, BLOCK 48, LOTS 1-23, BLOCK 62, LOTS 1-22, BLOCK 63, LOTS 1-23, BLOCK 64, LOTS 1-32, 33X, BLOCK 65, LOTS 1-30, 31X, BLOCK 66, LOT 1X, BLOCK 67, LOT 1X, BLOCK 68. Generally located northwest from the intersection of FM 407 and Timberbrook Parkway.

Commissioner Hill made a motion to approve the items as presented.

Commissioner Barrientos seconded the motion.

The motion passed 5/0/0

5. PUBLIC HEARING:

Staff gave a brief presentation on the item

- A. Conduct a Public Hearing to hear concerns for or against a Replat to subdivide one lot into two lots legally described as Lot 8R and Lot 8R1 Fox Bane Estates. Generally located north from the intersection of Sam Reynolds Road and Mary Polk Road.

Staff gave a brief presentation on the item.

Chairman Beck opened the Public Hearing at 7:40pm.

No one came forward.

Chairman Beck closed the Public Hearing at 7:41pm.

Clint Robinson, 17770 Mary Polk Road, came forward to speak.

Chairman Beck asked the Applicant what the second lot would be utilized for.

Clint Robinson responded that it would sold to their family for a future home.

- B. Consider and act upon a recommendation for a Replat to subdivide one lot into two lots legally described as Lot 8R and Lot 8R1, Fox Bane Estates. Generally located north from the intersection of Sam Reynolds Road and Mary Polk Road.

Commissioner Krzyzek motioned to approve as presented.

Commissioner Davis seconded the motion.

The motion passed 5/0/0

6. FUTURE AGENDA ITEMS:

- A. Meadowlands PH. 1

Staff gave a brief update on Future Agenda Items.

7. DEVELOPMENT UPDATE:

A. Discuss Development Update

Staff gave an update relating to development projects.

8. EXECUTIVE SESSION :

A. Any item on this posted agenda could be discussed in Executive Session as long as it is within one of the permitted categories under sections 551.071 through 551.076 and Section 551.087 of the Texas Government Code.

9. ADJOURNMENT:

Chairman Beck adjourned the meeting at 7:46pm.

I, the undersigned authority, do hereby certify that the above notice of the meeting of the City Planning & Zoning Commission of the City of Justin, Texas, is a true and correct copy of the said notice that I posted on the official bulletin board at Justin Municipal Complex, 415 North College Street, Justin, Texas, a place of convenience and readily accessible to the general public at all times.

Said notice has been posted this 16th Day of January 2024 by 5:00 p.m., at least 72 hours preceding the scheduled meeting time.

Attest:

Matthew Cyr

Matthew Cyr, Director of Planning and Development Services

NOTE: THE CITY OF JUSTIN COUNCIL CHAMBERS ROOM IS ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. THE CITY WILL PROVIDE SIGN LANGUAGE INTERPRETERS FOR THE HEARING IMPAIRED, IF REQUESTED AT LEAST 48 HOURS IN ADVANCE OF THE SCHEDULED MEETING. PLEASE CALL THE CITY DEVELOPMENT SERVICES DEPARTMENT



PLANNING & ZONING COMMISSION

REGULAR MEETING MINUTES TUESDAY, FEBRUARY 20, 2024

JUSTIN CITY HALL
415 NORTH COLLEGE STREET

Members Present:

Scott Hill, Tom Cronberger, Emily Krzyzek, John Tinsley, David Beck, and Vicente Barrientos.

Staff Present:

Matt Cyr, Director of Planning and Development Services

WORK SHOP SESSION AGENDA (6:30 PM)

- A. Call to Order and Roll Call.
- B. Briefing regarding the January 25th and February 8th Council Meetings
 - a. Glen Coe Carwash SUP (February 8th)
 - b. Foxbane Estates Replat (February 8th)
 - c. Temporary Batch Plant Timberbrook (February 8th)
- C. Discuss Unified Development Code Update
- D. Discuss Talley Blvd Breakout from FM 1171
- E. Discuss Range Creek Development
- F. Discuss regular agenda items.
- G. Adjourn.

The work session adjourned at 7:26pm.

CONVENE INTO REGULAR SESSION AT 7:30 PM

Chairman Beck started the meeting at 7:30 pm.

1. CALL TO ORDER AND ROLL CALL

Chairman Beck called roll. The following members were present:

Scott Hill, Tom Cronberger, Emily Krzyzek, John Tinsley, David Beck, and Vicente Barrientos.

2. PLEDGE OF ALLEGIANCE

3. PUBLIC COMMENT:

In order to the business flow and provide all citizens the opportunity to speak, the Planning & Zoning Commission Chair may impose a three-minute limit on any person addressing the Commission. Speaker slips must be completed prior to speaking.

To allow the public the ability to participate in the public comment portion and not attend the meeting in person, the City allows the following: email comments may be submitted with name and address to the Director of Planning and Development Services by 5:00 pm on Tuesday, February 20, 2024, to mcyr@cityofjustin.com. Staff will read any received email to Commission during the discussion of this item. **Please identify the agenda item to discuss.**

Chairman Beck opened the floor to Public Comment at 7:32pm

No one came forward.

Chairman Beck closed the floor to Public Comment at 7:33 pm.

4. CONSENT ITEMS:

- A. Consider and act upon a recommendation to City Council for a final plat for Timberbrook Crossing legally described as Lots 1-4, Block A. Generally located northeast from the intersection of FM 407 and Timberbrook Parkway.

Staff gave a brief presentation on the item.

Steve Schreiber, Applicant from Harrier Investments, came forward to discuss the project and timeline.

Commissioner Tinsley motioned to approve the consent agenda.

Commissioner Cronberger seconded the motion.

The motion passed 6/0/0

5. FUTURE AGENDA ITEMS:

Staff gave an update relating to future agenda items.

- a. Gaston House SUP
- b. Meadowlands Ph I
- c. Trafford Terrace
- d. Justin Elementary School

6. DEVELOPMENT UPDATE:

A. Discuss Development Update

Staff gave an update relating to development projects.

7. EXECUTIVE SESSION :

A. Any item on this posted agenda could be discussed in Executive Session as long as it is within one of the permitted categories under sections 551.071 through 551.076 and Section 551.087 of the Texas Government Code.

8. ADJOURNMENT:

Commissioner Davis made a motion to adjourn.

Commissioner Barrientos seconded the motion.

The motion passed 5/0/0

Chairman Beck adjourned the meeting at 7:48pm.

I, the undersigned authority, do hereby certify that the above notice of the meeting of the City Planning & Zoning Commission of the City of Justin, Texas, is a true and correct copy of the said notice that I posted on the official bulletin board at Justin Municipal Complex, 415 North College Street, Justin, Texas, a place of convenience and readily accessible to the general public at all times.

Said notice has been posted this 20th Day of February 2024 by 5:00 p.m., at least 72 hours preceding the scheduled meeting time.

Attest:

Matthew Cyr

Matthew Cyr, Director of Planning and Development Services

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Planning and Zoning Commission Coversheet
March 19, 2024
415 N. COLLEGE AVE.

Agenda Item: B. (PUBLIC HEARING:)

Title: Consider and act upon a recommendation to City Council for a Specific Use Permit for the Gaston House legally described THE PRESERVE PHASE 1 BLK 6 LOT 23-27X. Generally located southwest from the intersection of FM 407 and Boss Range Road.

Department: Administration

Contact: Matthew Cyr, Director of Planning and Development

Recommendation:

Staff recommends approval as presented.

Background:

The purpose of this memo is to present a proposal for the adaptive reuse of the Gaston House within the City of Justin, transforming this existing residential structure into a museum dedicated to the history of The City of Justin. This initiative is designed not only to preserve a significant landmark but also to foster community engagement and education about Justin's heritage. As outlined in our Planned Development Standards, all General Business Uses within the designated area require approval via a Specific Use Permit (SUP). In alignment with these regulations, this proposal seeks an SUP for the establishment of the Gaston House as a museum. This endeavor will provide an invaluable educational resource, offering residents and visitors alike insights into the city's development, cultural milestones, and notable figures.

Furthermore, the proposal encompasses the operation of incidental retail services within the museum premises, events outside the premises, and gardening in the future. These services will include, but are not limited to, the sale of merchandise such as shirts, mugs, and other items. The programming of which entity will run the structure upon completion is to be determined at a later date in conjunction with The Justin Heritage Foundation. The proposed museum and retail services at the Gaston House are anticipated to contribute significantly to the cultural and quality of life for the City of Justin. By providing a focal point for historical education and community pride, the project aligns with the city's goals of promoting a higher quality of life.

ZONING:
PD-SF2

LANDSCAPING:

On the north and south side there will be a wall of hedges (approximately 15 on the north side and 22 on the south side) to help screen the property from oncoming traffic. On the west side there are approximately four canopy trees and five understory trees. On the east side there will weepinglove grass to keep the natural and agricultural feel entering the site. The landscaping proposed will meet the plant selection and tree species list.

PARKING:

There are 22 parking spaces allotted for this area and use. This would meet the parking requirements by a significant margin (only required to have approximately 7 spaces). The extra parking is to help accommodate events as needed, mobile food trucks, or any additional incidental use.

GARDENING/COURTYARD:

The proposed SUP encompasses a courtyard on the interior of the site to the south along with smaller gardening to the southwest.

FISCAL IMPACT:

Working with the consultants, an estimate to restore the structure and improve the site as proposed is estimated at \$1,426,221.50.

If Constructed within 7 years: Approximately \$203,746 per year

If Constructed within 10 years: Approximately \$142,622.15 per year

If Constructed within 15 years: Approximately \$95,081 per year

The estimates above do not account for inflation.

Lastly, the City will explore grant programs, partnerships with developers (funding and in-kind), private donations working with the Justin Heritage Foundations, and City funding.

SPECIFIC USE PERMIT CRITERIA:

In recommending that a specific use permit for the premises under consideration be granted, the planning and zoning commission shall determine that such uses are harmonious with and adaptable to building structures and uses of abutting property and other property in the vicinity of the requirements for the paving of streets, alleys and sidewalks, means of ingress and egress to public streets, provisions for drainage, adequate off-street parking, protective screening and open space, heights of structures, and compatibility of building construction.

City Attorney Review: No

Attachments:

1. SUP Package
2. Ordinance 728-22
3. SUP Application

4. Proposed Ordinance- Gaston House
5. Map



The Gaston House

Schematic Design

Justin, TX
March 11, 2024

Introduction

The Gaston House, located in The City of Justin, Texas, is a historic Victorian residence. Constructed in the early 1900s, the property initially encompassed 714 acres of farmland. Despite the passage of time and the effects of weathering, the house remains standing, serving as a poignant symbol of Justin’s rich history.

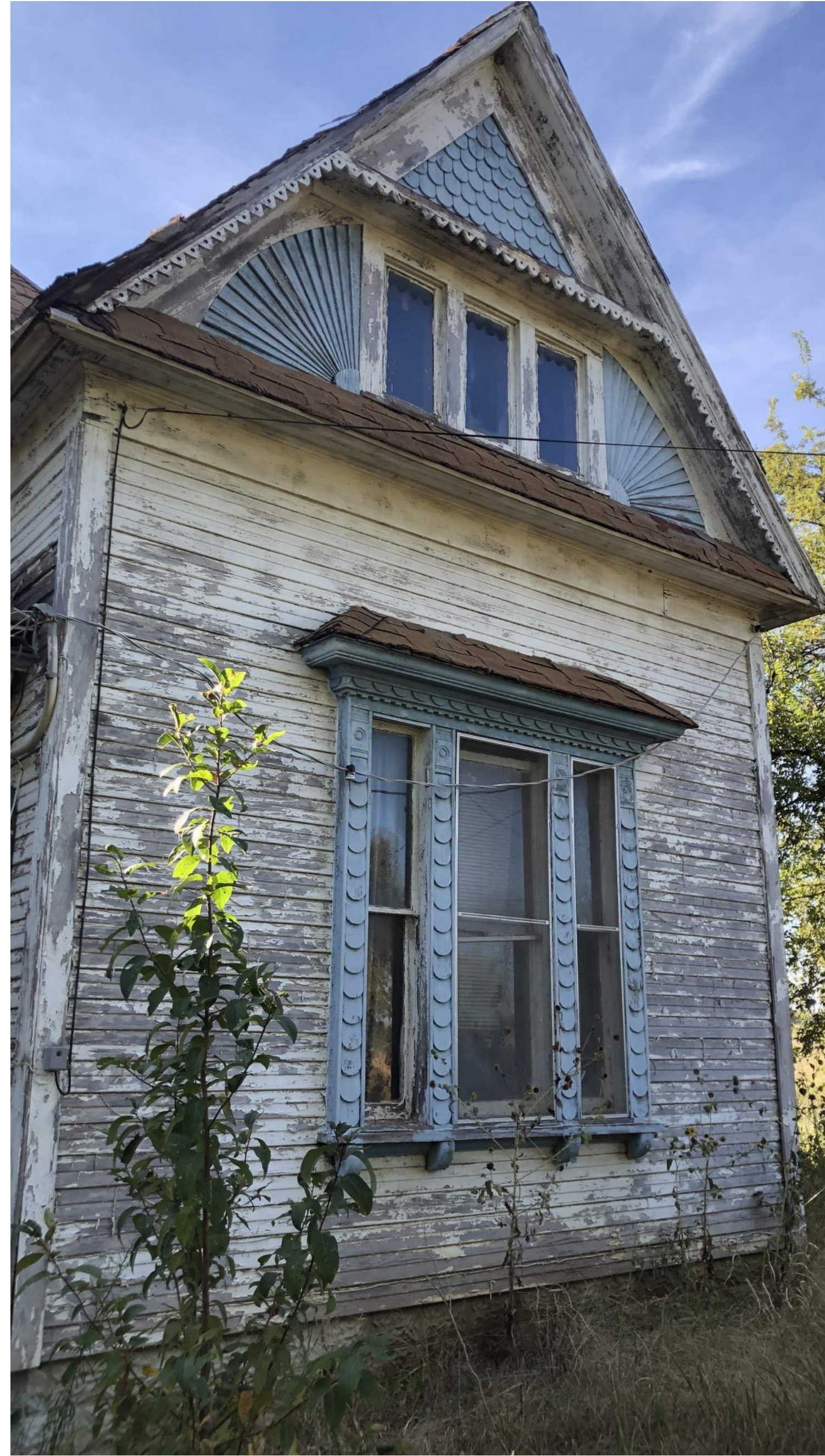
In collaboration with Larson & Pedigo, The City of Justin, and The Justin Heritage Foundation, the current project focuses on restoring the original 1900s residence. The goal is to preserve its historical significance and offer the community a shared space. Functioning as a community center, Gaston House aspires to host various community events and provide educational opportunities.





The City of Justin

Situated at the crossroads of Farm roads 407 and 156, Justin is located five miles northwest of Grapevine Lake in southwestern Denton County. Justin's origin traces back to 1883 when town lots, owned by Chet Helm and a man named Riley, were put up for sale. In the same year, a general store opened its doors, marking the beginning of Justin's transformation into a focal point for farmers in the area.



The Gaston House

Constructed in the early 1900s, Gaston House was the residence of Stephen L. Gaston, along with his wife Emma and their two children. Positioned just six miles west of Justin, Gaston House comprised 714 acres of farmland.

<https://www.justinheritagefoundation.com/blogs/gaston-house/the-story-of-the-gaston-family>



The Justin Heritage Foundation

Starting as a city committee, the Justin Heritage Foundation has transformed into a charitable organization. This foundation is made up of a group of individuals who gained momentum in their dedication to preserving The Gaston House.

<https://www.justinheritagefoundation.com/blogs/justin-history>



Texas Farm Culture in Justin

Agriculture has played a significant role in the growth of Justin. In the late 1800s, the community prospered with the prevalence of wheat and dairy farms. Justin's importance expanded through the integration of grain elevators, frozen-food lockers, and the establishment of paved roads, cementing its pivotal position as a vital shipping point for various agricultural products and continued growth.



The Gaston House

03/01/2024

City of Justin
415 N College Avenue
Justin, TX 76247

Garrison/Jones Landscape Architects
400 N Ervay St #132815
Dallas, TX 75201

This information is based on the most current information available and is intended for conceptual use only.



1 Frame out front entry with a residence feel



2 Create internal views and study parking locations



3 View to neighborhood behind the property



4 Consider additional screening along existing retaining wall



5 Consider screening from Residence backing the property



6 Preserve existing tree line



7 Potential entry/ exit to and from the site



8 Align landscape to compliment architecture



The Gaston House

03/01/2024

City of Justin
415 N College Avenue
Justin, TX 76247

Garrison/Jones Landscape Architects
400 N Ervay St #132815
Dallas, TX 75201



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Design Goals

Economic:

Foster local economic growth by actively supporting and promoting local businesses, contribute to the elevation of real estate values through thoughtful development and preservation efforts, implement and adhere to a well-managed budget to ensure sustainable financial practices, generate revenue through strategic initiatives that benefit both the community and the foundation’s objectives.

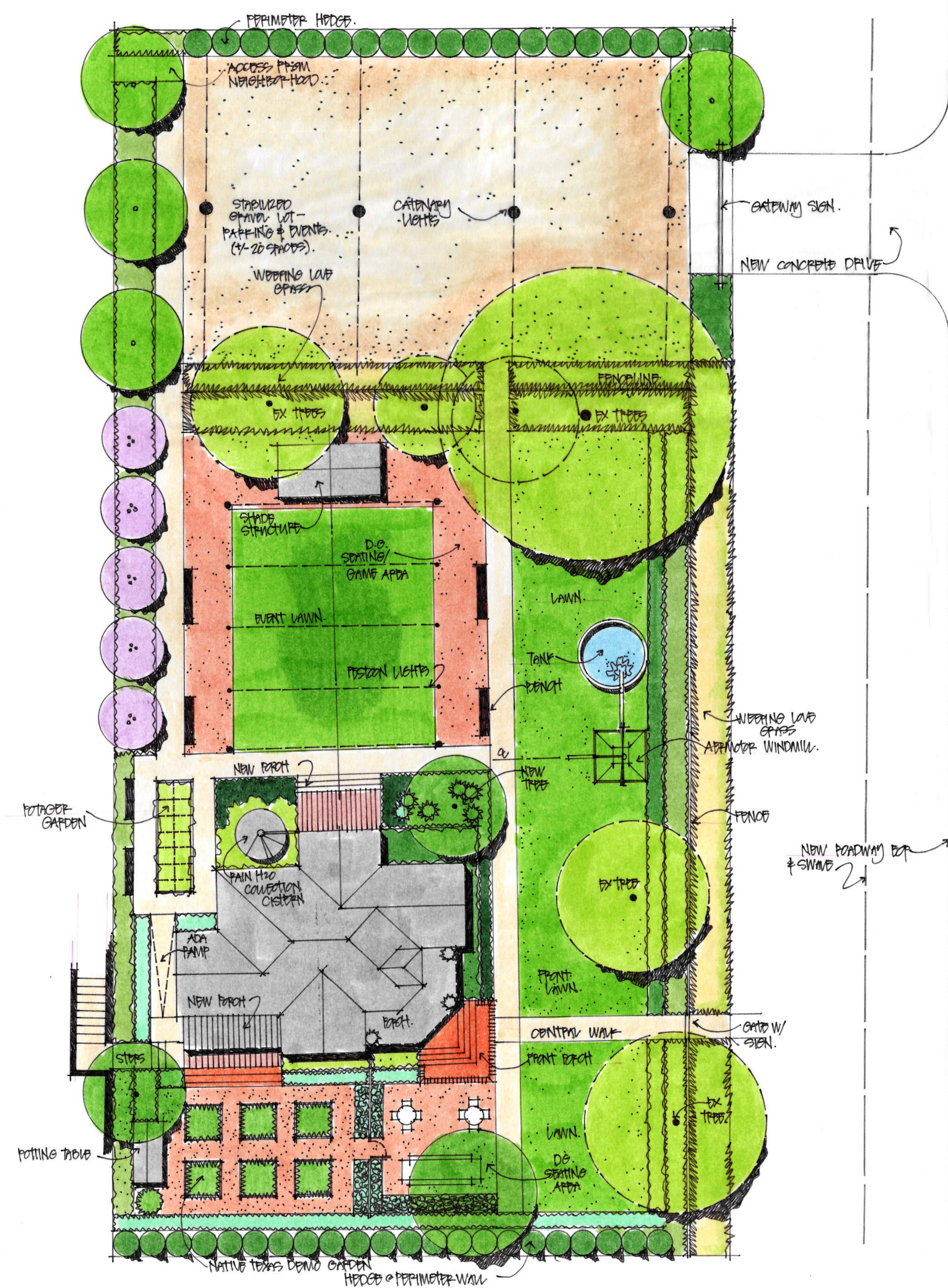
Social:

Establish a centralized community hub that caters to a diverse range of interests and provides ample recreational opportunities, promote and celebrate the roots of Justin, fostering a sense of pride and unity among residents, share the rich culture and heritage of Justin with visitors, enhancing community engagement and connection.

Environmental:

Cultivate an authentic environment that reflects the unique character of Justin, Texas, incorporating ecological elements and showcasing agricultural practices, ensure a sustainable and efficient maintenance plan for the environment, preserving the natural beauty of the area for everyone to experience and enjoy.





The Gaston House

03/01/2024

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Schematic Site Plan

- | | | | | | | | | | |
|---|-------------------------------|---|-----------------------|----|-----------------------------|----|-----------------|----|------------|
| 1 | Parking Lot Stabilized Gravel | 5 | Event Lawn | 9 | Rain H2O Collection Cistern | 13 | Screening Hedge | 17 | Fence |
| 2 | Vehicular Entry Drive | 6 | Festoon Lights | 10 | ADA Ramp | 14 | Decorative Gate | 18 | Front Lawn |
| 3 | Catenary Lights | 7 | D.G Seating/Game Area | 11 | Potting Table | 15 | Central Walk | | |
| 4 | Shade Structure | 8 | New Porch | 12 | Native Texas Demo Garden | 16 | Windmill/ Tank | | |



The Gaston House

03/01/2024

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Dallas, TX 75201

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Estimate of Propbable Cost

Item	Quantity	Unit Cost	Sub-Total	
Building Renovations				
Miscellaneous Renovations	2,500 SF	\$310.00	\$775,000	
Hardscape				
Concrete Driveway	1,000 SF	\$12.00	\$12,000	6" Thick Standard Gray Concrete
Gateway Sign (Vehicular)	1	Allow	\$15,000	
Gateway Sign (Pedestrian)	2	Allow	\$15,000	
Stabilized Gravel Lot	5,800 SF	\$15.00	\$87,000	
Decomposed Granite	3,226 SF	\$6.00	\$19,356	
Concrete Walkway	2,500 LF	\$8.00	\$20,000	
Porhes/Ramp/Steps	1,000 Sf	\$15.00	\$15,000	
Shade Pavilion	1	Allow	\$75,000	
Rain Water Collection Cistern	1	Allow	\$10,000	
Potager Garden	1	Allow	\$3,000	
Fencing / Gates	310 LF	\$40.00	\$12,400	
Native Texas Demo Garden	6	Allow \$1,500 each	\$9,000	
Potting Table	1	Allow	\$2,500	
Site Furnishings	1	Alallow	\$30,000	
Lighting	1	Allow	\$30,000	
Electrical	1	Allow	\$5,000	
Utlities	1	Allow	\$15,000	
Aermotor Windmill	1	Allow	\$10,000	
Stock Tank	1	Allow	\$2,500	
Hardscape Sub-Total			\$387,765	
Softscape				
Fine Grading	1	Allow	\$10,000	
Tree Protection	1	Allow	\$15,000	
Ornamental Trees	5	Ea	\$3,000	
Canopy Trees	7	Ea	\$7,0000	
Screening Shrubs	42	Ea	\$16,800	
Planting Beds	8,000	SF	\$56,000	
Lawn	5,600	SF	\$5,600	
Planting Bed Irrigation	8,000	SF	\$12,000	
Lawn Irrigation	5,600	SF	\$8,400	
Softscape Subtotal			\$133,800	
Project Total			\$1,296,565	
Contigency @ 10%			\$129,656.50	
Project Grand Totel			1,426,221.50	

ORDINANCE NUMBER 728-22

AN ORDINANCE OF THE CITY OF JUSTIN, TEXAS, AMENDING A SF-2 PLANNED DEVELOPMENT DISTRICT ON AN APPROXIMATE 196.712 ACRES OF LAND ON THE SOUTHWEST CORNER OF FM 407 AND BOSS RANGE ROAD HAVING THE LEGAL DESCRIPTION OF WILLIAM CABLE SURVEY, ABSTRACT NO. 285, THE WARREN A. FERRIS SURVEY, ABSTRACT NO. 419, DENTON COUNTY, TEXAS; PROVIDING AN INCORPORATION OF PREMISES; PROVIDING A CUMULATIVE/REPEALER CLAUSE, PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the landowners of approximately 196.712 acres of land located on the southwest corner of FM 407 and Boss Range Road, having the legal description of William Cable Survey, Abstract No. 285, the Warren A. Ferris Survey, Abstract No. 419, Denton County, Texas, Texas, desire to amend the SF-2 Planned Development ; and

WHEREAS, the Planning and Zoning Commission of the City of Justin (the "Commission"), in compliance with the laws of the State of Texas, gave the requisite notices by publication and otherwise, and held public hearings and afforded full and fair hearings to all property owners generally and to all persons interested in this regard; and

WHEREAS, having reviewed the request for the residential development the Commission determined that the amendment to reduce landscaping compatible with surrounding uses and the City's Future Land Use Plan and recommended approval of this Ordinance; and

WHEREAS, the City Council of the City of Justin, in compliance with the laws of the State of Texas, having given the requisite notices by publication and otherwise, having held public hearings and afforded full and fair hearings to all property owners generally and to all persons interested in this regard, and having considered the recommendation of the Planning and Zoning Commission, has determined that the proposed amendment of the SF-2 Planned Development is approved with the following conditions a part of this ordinance:

- The Gaston House, legally described as Lots 23, 24, 25, 26, and 27, Block 6, is permitted to include all uses in the General Business Zoning District with a Specific Use Permit.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JUSTIN, TEXAS:

Section 1. Incorporation of Premises. That all of the above recitals are found to be true and correct and are incorporated into the body of this ordinance as if fully set forth herein.

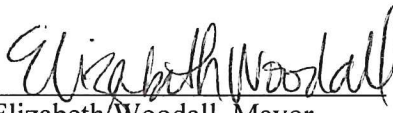
Section 2. Applicable Regulations/Zoning Ordinance and Zoning Map Amended. Development and use of the property shall follow this ordinance, including all Exhibits thereto as amended hereby, the Code of Ordinances of the City of Justin, Texas, and all applicable state and federal law.

Section 3. Cumulative/Repealer Clause. This ordinance shall be cumulative of all provisions of state or federal law and all ordinances of the City of Justin, Texas, except where the provisions of this ordinance are in direct conflict with the provisions of such other ordinances, in which event the conflicting provisions of such ordinances are hereby repealed to the extent of such conflict.

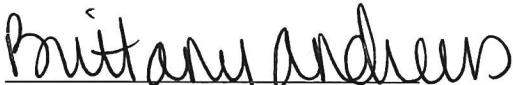
Section 4. Severability Clause. If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portions of this ordinance, or the Comprehensive Zoning Ordinance, Chapter 52 of the City of Justin Code of Ordinances, and the remaining portions shall remain in full force and effect.

Section 5. Effective Date. This ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law in such cases provides.





Elizabeth Woodall, Mayor

ATTEST:


Brittany Andrews, City Secretary

Approved as to form:


City Attorney



☐ Zoning Change ☒ Special Use Permit ☐ Planned Development

Project Address THE PRESERVE PHASE 1 BLK 6 LOT 23-27X

Project Name GASTON HOUSE MUSEUM SUP

Legal Description THE PRESERVE PHASE 1 BLK 6 LOT 23-27X Acreage 0.96

Current Zoning PD-SF2 Proposed Zoning PD-SF2

Current Use RESIDENTIAL Proposed Use MUSEUM

Company/Name _____
Contact Name _____
Address _____ City _____ State _____ Zip _____
Phone _____ Email _____

For additional owners, please include additional copies of this page. The property owner **MUST** sign the application or submit a notarized letter of authorization.

Company CITY OF JUSTIN Contact Name MATTHEW CYR
Address 415 N COLLEGE AVE City JUSTIN State TX Zip 76247
Phone 940-648-2541 Email MCYR@CITYOFJUSTIN.COM

I certify that the above information is correct and complete to the best of my knowledge and ability, and that I will be fully prepared to present the proposal at a Planning and Zoning Commission and City Council public hearing. I reserve the right to withdraw this proposal at any time by filing a written request with the Development Services Department.

Planning & Zoning Department | 415 N. College, Justin, TX 76247
940-648-2541 Ext. 5 | www.cityofjustin.com | development@cityofjustin.com

APPLICATION SUBMITTAL REQUIREMENTS

Applications submitted without original signatures and all required documents and information will not be reviewed and will be returned to the applicant for revision. Please be sure that all required items are included for the type of application requested.

Zoning information is available online in Chapter 52 of the City of Justin Code of Ordinances. If you have questions about the application process or any submittal requirements, please call the Development Services Department at (940) 648-2541 Ext. 5.

ALL APPLICATIONS must be submitted to development@cityofjustin.com.

The following items are required with all types of applications:

- ☐ Zoning Application form.
- ☐ Application filing fee as required by the City of Justin Fee Schedule. This fee is non-refundable.
- ☐ One digital copy of the subdivision plat (if the property is platted)
- ☐ If request is for (i) a portion of a platted lot, or (ii) an unplotted lot, surveyed site boundary dimensions (metes and bounds) and gross acreage determined by a licensed surveyor must be provided electronically in PDF format and paper copy.
- ☐ Original paid receipt or tax certificate indicate that the property taxes have been paid for the property. The certificate may be obtained for a fee from the Denton County Tax Office at
- ☐ Completed trip generation data form, if requested by the City Engineer. This will be used to determine if a traffic impact analysis will be required for the development.
- ☐ If the ownership does not match the ownership on the Denton County Appraisal District website, a warranty deed shall be submitted with this application. Please verify ownership prior to submitting the application.
- ☐ Additional information may be requested by the Development Review Committee if deemed essential for review and consideration by the Planning and Zoning Commission and City Council.
- ☐ Additional application submittal requirements, based on the specific type of application (see below)

ZONING CHANGE

- ☐ Zoning exhibit indicating the proposed land area of the zoning area request. The exhibit must show the abutting properties, adjacent streets, and all structures on the property. A copy of a subdivision plat or a copy of a property survey less than two years old will satisfy this requirement.

PLANNED DEVELOPMENT

- ☐ A written statement describing what the applicant wants to achieve in the development of the property and how the proposal conforms to the development standards established in Chapter 52 Article IV. Planned Developments of the City Code of Ordinances. This statement should be prepared as a narrative description of the character of the proposed development and rationale behind the assumptions and choices made by the applicant, including the use and ownership of open spaces. This is the applicant's opportunity to describe what they want to do with the property and why. The applicant may also submit drawings, photographs, company information and other relevant material with the application.
- ☐ Confirmation of the required pre-submittal meeting with City staff.
- ☐ A Site Plan showing the items indicated in the technical requirements described below for SITE PLAN.

SPECIAL USE PERMIT

- ☐ A written statement describing what is to be achieved in the development proposal for the property.
- ☐ Site Plan showing the items indicated in the technical requirements described below for SITE PLAN.

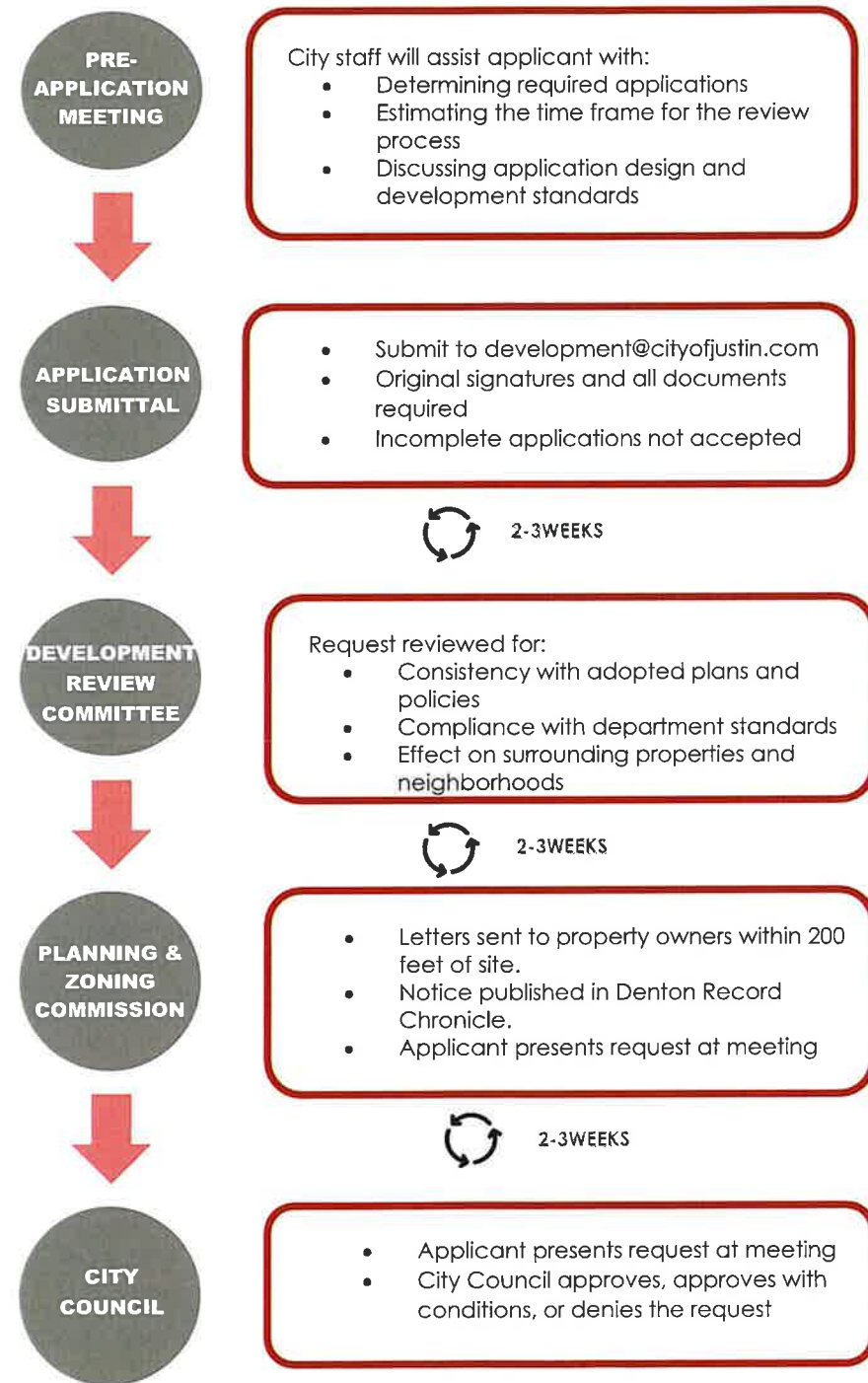
SITE PLAN

Applications requiring a site plan must show the items indicated in the technical

- ☐ SITE LAYOUT
 - o Location map, north arrow, graphic and written scale (not less than 1" = 60').
 - o Existing zoning and land use of the properties adjacent to the site.
 - o Existing structures on the site, indicating setbacks from property lines.
 - o Proposed land uses and building locations, indicating setbacks from property lines.
 - o Square footage, acreage, and density of all proposed land use and lots.
 - o Location and gross area of all streets, sidewalks, and other paved surfaces and its percentage of total property area.
 - o Gross area of open space area and recreational areas and its percentage of total property area.
 - o Existing and proposed public and private rights-of-ways, easements, access points into the property, and street names.
 - o Calculations and location of all off-street parking and loading facilities.
 - o Location, type, and elevation drawings of all signs, including ground and building-mounted signs.
 - o For residential uses, the number, type, and density of each type of dwelling unit (i.e., single-family, multi-family, townhouse, etc.).
- ☐ LANDSCAPE PLAN
 - o Plans demonstrating compliance with standards described in Chapter 52, Zoning of the City's Code of Ordinances, showing all required and proposed landscape setbacks, buffer yards, screening, and fencing.
 - o Tree preservation plan per Chapter 52, Zoning of the City of Justin Code of Ordinances if protected trees are present on the property.
- ☐ BUILDING ELEVATIONS
 - o Plans demonstrating compliance with standards for exterior appearance quality as described in Chapter 52, Zoning of City of Justin Code of Ordinances.
 - o Elevation drawings of all sides of building, showing dimensions, height, building materials, color, texture, and design.
 - o Percentage calculations of building materials for each facade.
- ☐ PHOTOMETRIC PLAN
 - o Plans demonstrating compliance with standards described in the Zoning Chapter.
 - o Location, type, and number of all exterior lighting, including building and pole mounted fixtures.
 - o Lighting manufacturer specifications or cut sheets of each type of luminaire equipment.
 - o Calculations and analysis of anticipated light distribution generated by all exterior lights.
- ☐ ENGINEERING PLANS
 - o Civil engineering plans for all public and private improvements for water, sanitary sewer, storm-water, grading, and drainage. Plans must demonstrate compliance with the City of Justin TCSS Manual.
 - o Traffic impact analysis or traffic circulation analysis, if required by the City Engineer for this property.

ZONING CHANGE

The graphic below describes the major steps of the zoning application process. The length of the process varies depending on the complexity of each project. Typically, the process could run at least 12 weeks from application to final action.



ORDINANCE NUMBER _____

AN ORDINANCE OF THE CITY OF JUSTIN, TEXAS, APPROVING A SPECIFIC USE PERMIT FOR A MUSEUM AND HAVING THE LEGAL DESCRIPTION OF LEGALLY DESCRIBED THE PRESERVE PHASE 1 BLK 6 LOT 23-27X, DENTON COUNTY, TEXAS; PROVIDING AN INCORPORATION OF PREMISES; PROVIDING A CUMULATIVE/REPEALER CLAUSE, PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City acquired the property on March 17, 2023, in accordance with the developers agreement for The Preserve; and

WHEREAS, the City is attempting to work with the Justin heritage Foundation to enhance quality of life and preserve the history of the house; and

WHEREAS, the City worked with Garrison Architect group, the Justin Heritage Foundation, and Justin 197 Holdings LP to draft a conceptual plan for the Gaston House to be utilized as a museum with incidental retail, park, and special events space, ; and

WHEREAS, the Planning and Zoning Commission of the City of Justin (the "Commission"), in compliance with the laws of the State of Texas, gave the requisite notices by publication and otherwise, and held public hearings and afforded full and fair hearings to all property owners generally and to all persons interested in this regard; and

WHEREAS, having reviewed the request the Commission determined that the change of the proposed Specific Use Permit was compatible with surrounding uses and the City's Comprehensive Plan and recommended approval of this Ordinance; and

WHEREAS, the City Council of the City of Justin, in compliance with the laws of the State of Texas, having given the requisite notices by publication and otherwise, having held public hearings and afforded full and fair hearings to all property owners generally and to all persons interested in this regard, and having considered the recommendation of the Planning and Zoning Commission, has determined that the proposed Specific Use Permit is approved with the exhibits attached.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JUSTIN, TEXAS:

Section 1. Incorporation of Premises. That all of the above recitals are found to be true and correct and are incorporated into the body of this ordinance as if fully set forth herein.

Section 2. That the Zoning Ordinance of Justin, Texas, regulating property legally described as legally described as legally described THE PRESERVE PHASE 1 BLK 6 LOT 23-27X. Generally located southwest from the intersection of FM 407 and Boss Range Road. Justin, Denton County, Texas, is amended to establish a Specific Use Permit for a Museum with incidental retail, events space, and open park.

Section 3. Applicable Regulations/Zoning Ordinance and Zoning Map Amended.

Development and use of the property shall follow this ordinance, including all Exhibits thereto as amended hereby, the Code of Ordinances of the City of Justin, Texas, and all applicable state and federal law.

Section 4. Cumulative/Repealer Clause. This ordinance shall be cumulative of all provisions of state or federal law and all ordinances of the City of Justin, Texas, except where the provisions of this ordinance are in direct conflict with the provisions of such other ordinances, in which event the conflicting provisions of such ordinances are hereby repealed to the extent of such conflict.

Section 5. Severability Clause. If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portions of this ordinance, or the Comprehensive Zoning Ordinance, Chapter 52 of the City of Justin Code of Ordinances, and the remaining portions shall remain in full force and effect.

Section 6. Effective Date. This ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law in such cases provides.

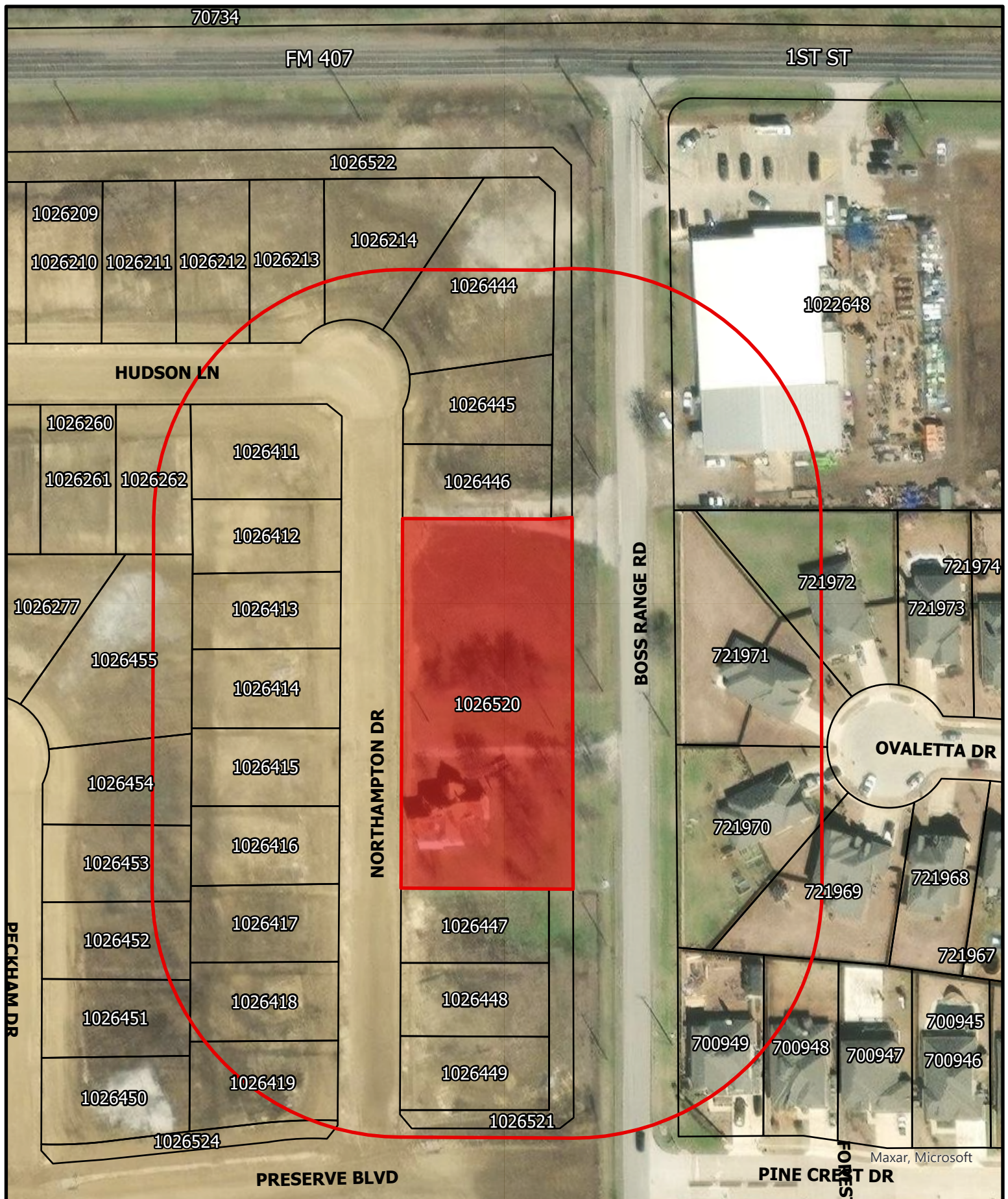
James Clark, Mayor

ATTEST:



Brittany Andrews, City Secretary

Approved as to form:

City Attorney



Legend

-  200ft Notice Radius
-  Gaston House

0 50 100 150 Feet



Gaston House SUP
City of Justin

Dated: 03/08/24



Planning and Zoning Commission Coversheet
March 19, 2024
415 N. COLLEGE AVE.

Agenda Item: D. (PUBLIC HEARING:)

Title: Consider and act upon a recommendation to City Council amending the Planned Development (GB-PD) Standards for Justin Town Square. The amendment is proposed for the properties legally described as LOTS 1 - 7, BLOCK 1, LOTS 1-3, BLOCK 2, LOT A, BLOCK 3, LOT A, BLOCK 4, HARDEMAN CENTRE ADDN PH 1 BLK 2 LOT 1, JWR 711 ADDITION BLK A LOT 3, JWR 711 ADDITION BLK A LOT 2, JWR 711 ADDITION BLK A LOT 1.

Department: Administration

Contact: Matthew Cyr, Director of Planning and Development

Recommendation:

Staff recommends approval.

Background:

Office Equity Solutions (OES) is seeking to modify the existing Planned Development plan to incorporate solar lighting in Justin Town Square. This initiative aims to offer a unique product that sets Justin Town Square apart from other Town Centers or Squares in the metropolitan area. Additionally, this request stems from challenges encountered in collaborating with Oncor to secure conventional lighting solutions.

Furthermore, Staff has suggested that permitting a hotel in the Civic Mixed Use (CMU) area through a Specific Use Permit should be considered. Staff also recommend restricting medical uses to 20% of the development, unless an expansion of this limit is authorized by a Specific Use Permit going forward.

The lights will be on a dimmer that progressively dims throughout until 2:00am, in which the lights will shut off. Staff has worked with OES and their solar provider to ensure the load requirements can be met to supply adequate lighting to the development.

City Attorney Review:

Attachments:

1. Planned Development Standards -JTS
2. Map

Justin Town Square Zoning District (JTS-PD)

- A. Purpose and Intent:
1. Coordinating public and private investments for the greatest effect including the investments already underway in the area;
 2. Providing greater walkability within the district and to adjoining destinations and appropriate transitions to adjoining neighborhoods;
 3. Promoting walkability by bringing some buildings closer to the street where they can interact with pedestrians and be more visible to potential customers;
 4. Providing greater market flexibility by allowing a range of commercial and civic uses within the same district; and
 5. Ensuring the quality of development through the establishment of urban design standards and providing for a streamlined development review and approval process to facilitate economic development.
- B. Sub-Districts Established: The Justin Town Square Zoning District (JTS-PD) is divided into three component sub-districts—the Highway Commercial (HC) Sub-District, the General Mixed-Use (GMU) Sub-District, and the Civic Mixed-Use (CMU) Sub-District—as shown on the Regulating Plan (Appendix A).
1. Highway Commercial (HC) Sub-District: includes the area with direct frontage along FM 156. This district may contain commercial uses with a focus on design standards to create a more attractive gateway into Justin. The design standards will emphasize aesthetic treatments along the FM 156 frontage.
 2. General Mixed-Use (MU) Sub-District: shall be the area that focuses on transforming internal streets such as Justin Lane and Tally Boulevard into walkable streets. Buildings that line 'A' Frontage streets often will have associated parking provided on-street or behind the primary buildings. Development would generally support a walkable mixed-use context along key blocks with a wide mix of restaurant, retail, office, and entertainment uses.
 3. Civic Mixed-Use (CMU) Sub-District: focuses on the creation of a mixed-use area that is anchored primarily by civic/public uses such as City Hall, fire station, police services and open spaces such as a central green, town square or plaza, and the portion of Bishop Park south of Trail Creek. Development standards within the CMU Sub-District address the transformation of large undeveloped into smaller pedestrian-friendly blocks for a range of public uses and complementary amenities. Development standards would be more flexible in this Sub-District due to the widely varying needs of different public facilities.
- C. Regulating Plan: The Regulating Map, Appendix A, establishes the boundaries of the three sub-districts as described above and within the Justin Town Square Zoning District. The map indicates Type 'A' and 'B' frontages, and special requirements within the district.
- D. Applicability: The provisions of the JTS-PD, when in conflict, shall take precedence over any provisions of the City of Justin Zoning Ordinance, as amended, except as noted herein. Development standards not addressed in this District shall be governed by the Zoning Ordinance to the extent they are not in conflict with the intent or text of the JTS-PD standards.
- E. Administration: All development and redevelopment that meets the standards in this Section shall be approved administratively by the City Manager or designee.

1. Site Plan required: All commercial and non-single family residential uses shall submit a site plan meeting the requirements in Section 52-403 of the City of Justin Zoning Ordinance.
 2. Administrative adjustments: The City Manager or designee may approve a deviation to standards up to 25% of the established requirement specifically to accommodate applicant requests or to address the following site-specific conditions:
 - i. Steep grades on the site
 - ii. Existing utilities and/or easements
 - iii. Existing vegetation that is to be preserved
 - iv. Accommodate wider sidewalks, trails, or cross access between properties
 3. Specific Use Permits – All uses requiring a Specific Use Permit may only be considered by City Council as established in Section 52-62 of the City of Justin Zoning Ordinance
 4. Appeals of Administrator decisions and variances shall be deferred to City Council as established in Section 52-369 of the City of Justin Zoning Ordinance.
- F. Land Uses Permitted: Table 1 shall establish the land uses permitted by JTS-PD sub-district. Uses not listed in the table shall not be allowed in the JTS-PD.
- G. Other: Medically oriented uses, as defined in Health Care Facilities in Table 1, shall not exceed the greater of 40,000 square feet total in the HC and GMU sub-districts combined or 20% of the reasonably projected total square footage of buildings to be constructed in the HC and GMU sub-districts when fully built-out, except when permitted by a Specific Use Permit.

TABLE 1: Justin Town Square Schedule of Uses				
Chart Legend: "P" Permitted Use, "S" Specific Use Permit required, "Blank" Use Not Allowed		Justin Town Square Zoning District		
USE TYPE	ZONING DISTRICT →	HC	GMU	CMU
PUBLIC AND CIVIC USES				
Education	College, university or private school	S	S	S
	Day care center (child or adult)		P	
	Learning Center	P	P	
	Trade and commercial schools	S	S	
Government	Animal Shelter			S
	Fire station			P
	Government maintenance facility			S
	Government office facility	P	P	P
	Museum, library or fine art center, art gallery or museum	P	P	P
	Nonprofit organization or institutional	P	P	P
	Post office	P	P	P
Health Care Facilities	Ambulance dispatch station			S
	Stand-alone Urgent care or emergency care centers	P	S	
	Therapy Provider	P	P	
	Health services facility; including doctor's office or medical clinic	P	P	P
	Hospice	P	P	P
	Massage therapy, med spa, and day spa	P	P	

TABLE 1: Justin Town Square Schedule of Uses				
Chart Legend: "P" Permitted Use, "S" Specific Use Permit required, "Blank" Use Not Allowed		Justin Town Square Zoning District		
USE TYPE	ZONING DISTRICT →	HC	GMU	CMU
	USE			
Recreation	Center, community recreation, government operated or controlled			P
	Center, community recreation, private or nonprofit	P	P	
	Park or playground (public or private)	P	P	P
	Recreation or amusement establishment (indoor) (max. sq. footage of 20,000 sq.ft.)	P	P	P
Religious	Place of worship (primary use)	P	P	
	Institutions of religious or philanthropic nature	P	P	
	Place of worship auxiliary use	P	P	
Utilities	Electric power substation	S	S	S
	Power plant or central electric station			
	Stealth telecommunications towers	S	S	S
	Telecommunications antenna (on structure)	S	S	S
	Telecommunications tower	S	S	S
	Utility transmission or distribution line	P	P	P
	Sewage pumping stations	S	S	S
	Water supply or storage facility			S
COMMERCIAL USES				
Entertainment and Eating	Amusement or recreation, indoor (max. sq. footage of 20,000 sq.ft. in one building)	P	P	
	Bar, tavern, or cocktail lounge	S	S	
	Health or recreation club	P	P	P
	Indoor recreation	P	P	
	Lodge or civic club	P	P	P
	Museum/cultural facility	P	P	P
	Movie theater (indoor)		P	P
	Micro-brewery, micro-distillery or winery (with restaurant or retail sales)	P	P	
	Restaurant without drive-through-service, café, cafeteria	P	P	
	Restaurant with drive-through service (fast food)	S	S	
Office	Bank, financial institution (without drive thru)	P	P	
	Bank, financial institution (with drive thru behind the building relative to FM 156)	P	P	

TABLE 1: Justin Town Square Schedule of Uses				
Chart Legend: "P" Permitted Use, "S" Specific Use Permit required, "Blank" Use Not Allowed		Justin Town Square Zoning District		
USE TYPE	ZONING DISTRICT →	HC	GMU	CMU
	USE			
	Alternative Lending institutions	S	S	
	Offices, professional and administrative	P	P	P
Retail Sales and Service	Animal hospital (no outdoor runs; overnight boarding limited to pet under treatment)	S	S	
	Antique shop	P	P	
	Appliance, sales, supply or repair	P	P	
	Bakery, retail sales	P	P	
	Barber, salon or beauty shop	P	P	
	Book, stationery stores or newsstand	P	P	
	Candy or cake shop	P	P	
	Caterer or wedding service	P	P	
	Clothing/wearing apparel sales, new	P	P	
	Clothing/wearing apparel sales, used	S	S	
	Convenience store (no gas pumps)	P	P	
	Copy store or commercial print without off-set printing	P	P	
	Dance studio	P	P	
	Dog training school	S		
	Drapery shop	P	P	
	Dressmaking, custom; millinery shop	P	P	
	Freestanding department store	P	P	
	Freestanding discount superstore	S	S	
	Furniture sales, new and used (office or residential) in a building	P	P	
	General merchandise store	P	P	
	Grocery store, meat market	P	P	
	Handicraft shop	P	P	
	Hardware store	P	P	
	Interior decorating	P	P	
	Kennel (with no outdoor runs)		S	
	Kiosk	S	S	S
	Large retail store	P	P	
	Laundry or dry cleaning collection office	P	P	
	Leather goods shop	P	P	
	Liquor or package store	P	P	
	Locksmith	P	P	
	Medical supplies/equipment sales or rental	P	P	
	Optician	P	P	

TABLE 1: Justin Town Square Schedule of Uses				
Chart Legend: "P" Permitted Use, "S" Specific Use Permit required, "Blank" Use Not Allowed		Justin Town Square Zoning District		
USE TYPE	ZONING DISTRICT →	HC	GMU	CMU
	USE			
	Pawnshop	S		
	Pet day care (no overnight lodging)	P	P	
	Pharmacy/drugstore with drive-through	S	S	
	Pharmacy/drugstore without drive-through	P	P	
	Photograph, portrait/camera shop or photo finishing	P	P	
	Recording studio	P	P	
	Shoe shine shop	P	P	
	Studio, music, art or photography	P	P	P
	Studio for radio or television	P	P	P
	Tailor, clothing or apparel shop	P	P	
	Wedding chapel		P	
	Vapor store	S		
	Veterinary clinic (with indoor kennels)	P	P	
Vehicle Sales and Service	New auto accessory and parts sales store	P		
	Carwash, full or self service			
	Gasoline/service station with convenience market (over 4 mpd requires SUP)	S		
	Parking area or garage		P	P
LIGHT INDUSTRIAL				
Light Industrial Services	Printing, lithographing, book-binding, newspapers or publishing	S	S	
	Scientific and research labs	S	S	
HEAVY INDUSTRIAL				
	Gas compression facilities, gathering stations*	S	S	S
	Gas drilling and production*	S	S	S
	Oil drilling and production*	S	S	S
* In conformance with City of Justin Gas Drilling Ordinance				
OTHER USES				
	Commercial outside display	S	S	
	Outside storage, screened*	P	P	
	Hospital		S	
	Residence for security purposes, temporary	S	S	S
	Trailer, portable; sales, construction or storage during construction	P	P	P

TABLE 1: Justin Town Square Schedule of Uses				
Chart Legend: "P" Permitted Use, "S" Specific Use Permit required, "Blank" Use Not Allowed		Justin Town Square Zoning District		
USE TYPE	ZONING DISTRICT →	HC	GMU	CMU
	USE			
RESIDENTIAL USES				
	One-family dwelling, 2 nd floor and higher only.		S	
	Multifamily dwelling, 2nd floor and higher only.		S	
	One-family attached (townhouse, rowhouse)		S	
	Senior Adult Housing		S	
	Assisted Living Facility		S	
LODGING				
	Hotel, motel, inn, short-term and vacation rentals		S	S

G. Site Development Standards

Standard	Highway Commercial (HC)	General Mixed-Use (GMU)	Civic Mixed-Use (CMU)
Building Setbacks (measured from the property line) (minimum):			
FM 156	20' min	NA	NA
Primary Street (Type 'A' Street South of the Town Square)	NA	5' min. (0' minimum with firewall) 20' max.	NA
Primary Street (Type 'A' Street or Type 'A' Easement along or North of the Town Square)	NA	5' min. (0' min with firewall.) no max.	5' min. (0' min with firewall.) no max.
All other streets	10' min.	10' min.	10' min.
Side or rear	5' min.	5' min. (0' min with firewall.)	5' min.
Parking setbacks (from Type 'A' Street or Type 'A' Easement)	NA	Behind the primary building or a 5' landscaped green belt.	Behind the primary building or a min. 5' landscaped green belt.
Parking setbacks (secondary street)	15' along FM 156	Behind the front façade of the building along the street or a min. 5' landscaped green belt.	NA
Lot area	NA	NA	NA
Min. Lot Width:	50'	40'	NA
Max. Building Height	2 stories and not to exceed 35'	3 stories and not to exceed 45'	5 stories and not to exceed 75' (towers integrated into the

Standard	Highway Commercial (HC)	General Mixed-Use (GMU)	Civic Mixed-Use (CMU)
			building's architecture shall be exempt from this height limitation)
Min. % of usable open space (maybe designated public or private)	5% of the overall sub-district	5% of the overall subdistrict	
Max. Lot Coverage	70%	80%	NA

1. Due to the irregularity of the lots, lot width shall be measured as the average (mean) horizontal distance between the side property lines of a lot. The measurement shall be taken at two points. The narrowest point of the lot and the widest point. These two points shall then be averaged to form the lot width.

H. Off-Street Parking

1. Section 52-233 Parking Requirements based on Use, 52-235 Location of parking spaces and 52-237 Off-street loading space of Chapter 52 Zoning of the City of Justin Code of Ordinances shall not apply. All other standards related to off-street parking and loading in Division 6, Chapter 52 shall apply. In lieu of standards in Section 52-233, 52-235 and 52-237, the following shall apply.
2. In order to facilitate easier transitions between uses to create a more market responsive mixed-use environment, off-street parking ratios shall be based on following major categories of uses:
 - i. All commercial and public uses (except those described in Section 2. ii below): shall include all public, retail, restaurant, office, service, and light industrial uses: 1 space for every 275 sq.ft. of gross leasable area (GLA);
 - ii. Public Assembly uses: shall include facilities or areas for people to gather together with fixed seating for religious worship, cultural and sporting events, art performances, movie theaters and similar uses. Facilities without fixed seating will base the parking on the maximum occupancy of the assembly room as determined by the Fire Marshal: 1 space for every 4 seats or persons.
3. All parking spaces required herein shall be located on the same lot with the building or use served, except as described in Section 4. Shared parking agreements below.
4. Shared parking agreements: The City Manager may approve shared parking facilities for development within Justin Town Square with different operating hours or different peak business periods if the shared parking complies with all of the following standards.
 - i. Location: Shared parking spaces shall be located within the GMC and/or CMU Zoning Districts.
 - ii. Shared Parking Analysis:
 - a. Where shared parking is contemplated, the applicant may be required to include parking accumulation analyses as a part of the request for approval. The analysis shall include the parking demand for each hour over a 12- to 24-hour period for a typical high-volume day. This will determine the minimum number of spaces that shall be provided. Based on the analysis submitted, if the maximum number of vehicles accumulated during a peak hour or hours for all overlapping uses exceeds the number of spaces that are required to be provided, shared parking shall be limited. A prorated number of shared parking spaces may be permitted administratively based on the justification information of the analysis.

- b. A maximum of 50 percent of the parking spaces required for theaters, bowling alleys, dancehalls, nightclubs, churches, school auditoriums or similar uses may be provided and used jointly by any two similar uses not normally open, used or operated during the same hours; provided, however, that written agreement thereto is properly executed and filed as specified in this section. For example, any portion of a shared parking lot between a church and a night club may not be used for yet another similar use under this category.
 - iii. Agreement for Shared Parking: A shared parking plan will be enforced through a written agreement among all owners of record. Shared Parking Agreements across the entirety of the JTS-PD are encouraged, including between privately and publicly owned property. An attested copy of the agreement between the owners of record shall be submitted to the City Manager for review and approval. The applicant shall record the agreement in the county deed records prior to the issuance of a building permit or certificate of occupancy for any use to be served by the shared parking. A shared parking agreement may be terminated if all required off-street parking spaces will be provided in accordance with the requirements of Section G.2 above.
 - iv. Amendments to pre-existing agreements shall be made pursuant to the terms of this Section and shall be done by written agreement.
 - 5. Off-street loading spaces shall not be required in the JTC-PD. Loading shall be restricted to off peak hours, public loading zones (if any), private drives and/or private parking areas.
- I. Site Design Standards (driveways and cross access)
- 1. Driveways shall be allowed along FM 156 only if no other access either exists or is proposed from any directly adjoining street.
 - 2. Driveway spacing and widths shall meet TxDOT standards for the roadway classification.
 - 3. Cross-access easements:
 - i. Min. of 24' wide cross-access easements shall be provided to adjoining lots within the JTS-PD regardless of the development status of the adjoining lots.
 - ii. Location of the cross-access easements shall be established during the site plan.
- J. Building Design Standards
- 1. Façade Composition: Building facades that face a public street or private street with a public access easement shall comply with the minimum requirements illustrated in diagram below.

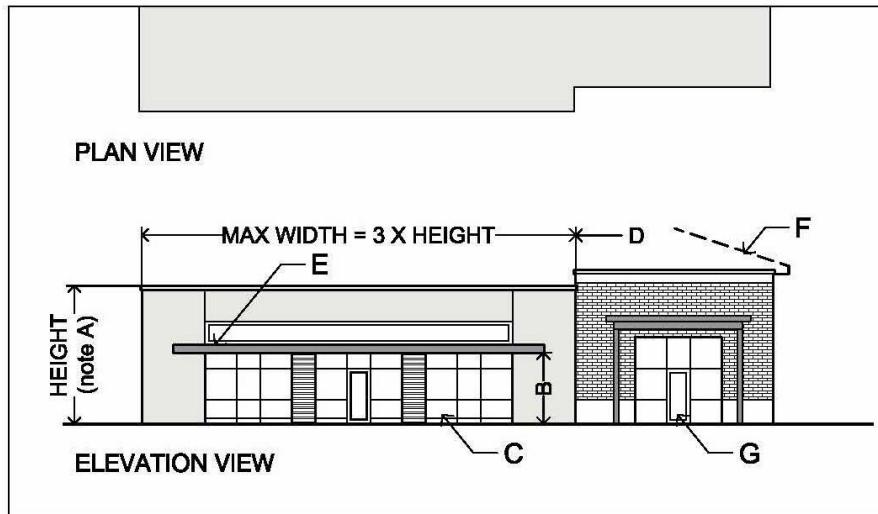


DIAGRAM ANNOTATIONS:

- A. Façade height shall be minimum of 15 feet for parapet wall, or 12 feet for a sloped roof eave.
- B. Storefront glazing to be minimum 9 feet high and shall extend within 0-16" of the sidewalk grade.
- C. Minimum glazing as a percentage of the total wall area shall be 25%
- D. Walls that exceed the height and width ratio of 1:3 (3 feet in width per 1 foot in height) shall incorporate a change in the architectural features. These changes shall include the following: a change in the horizontal plane with a minimum one-foot recess or projection from the adjacent wall, a change in the wall height of two feet, a change in exterior wall material, a change in the storefront opening proportions (doors, windows, etc.), and change in the shading device (i.e. cover, awning, etc.) configuration (type, height, extension, color). Staff shall determine the appropriate amount of façade articulation.
- E. A shading device shall be incorporated along a minimum of 50% of the façade length.
- F. Optional sloped roof
- G. Doors to be commercial grade with minimum 40% glazing.

Figure A Façade Composition

2. Building Orientation and Entrances along Type 'A' Streets:

- i. Buildings south of the northern boundary of the town square with frontage along Type 'A' Streets only on one side of the building, shall be oriented to have their longer sides along Type 'A' Streets.
- ii. Buildings south of the northern boundary of the town square with more than one side that has frontage along Type 'A' Streets shall only be required to have their longer side along the north-south portion of the Type 'A' Street.
- iii. Buildings north of the northern boundary of the town square with frontage along Type 'A' Streets may orient their building(s) at their discretion.
- iv. Buildings along Type 'A' Streets shall have at least one entrance facing the Type 'A' Street.
- v. Building entrances shall have a pedestrian connection from the entry to the public sidewalk on a Type 'A' Street.
- vi. Additional primary and secondary entrances may also be provided around all sides of the building.

3. Building components:

- i. Glazing:
 - a. Buildings shall incorporate commercial grade storefront window systems. Glass shall be clear or lightly tinted. Reflective (mirror) glass is not permitted.
 - b. Minimum glazing as a percentage of the total façade area shall be 25%.
- ii. Roofs: roofs shall be low slope behind a parapet wall, and/or sloped hip or gable roofs having a minimum slope of 4:12 and a maximum slope of 8:12.
- iii. Roof Top Mechanical Equipment: Exterior building walls shall be tall enough to shield all rooftop mechanical equipment from the view from anywhere on an adjoining public street or sidewalk within 100' of the building. Other screening devices such as latticework, louvered panels, and any other screening treatments are permitted.
- iv. Awnings and shading devices: Awnings, projecting roofs, and porches shall be permitted as shown in Figure B Shading Devices.

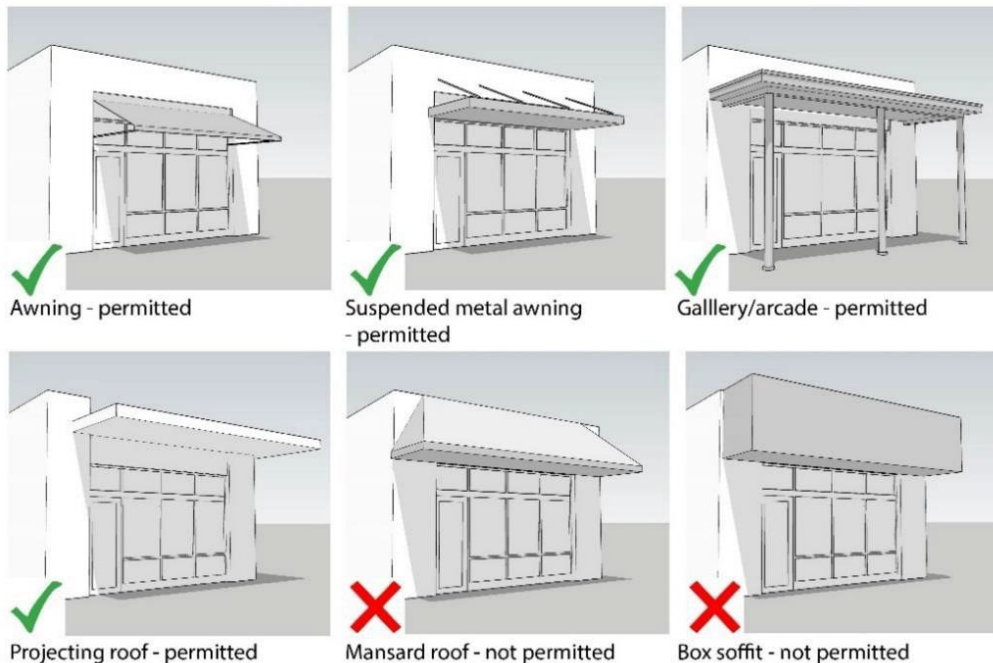


Figure B Shading Devices

- K. Landscaping and Buffer Requirements: Standards in Division 5 Landscaping and Buffer Requirements of the City of Justin Code of Ordinances shall apply to the Justin Town Square district with the following modifications:
1. Buffer along the west property line abutting a single-family neighborhood: Provide a Type F2 Buffer Yard as described in Figure C. The minimum width of the buffer shall be 15' with a typical width of 18' and incorporate a minimum eight-foot (8') wide paved trail connecting Reatta Park to Bishop Park as shown in the Concept Plan. Alternate materials may be considered such as hard packed crushed stone or similar durable and firm material. The city may waive the requirement for a six-foot wall where existing fences are in place and/or where grade changes between the abutting properties necessitate a retaining wall or berm. Single family rear yards shall be permitted to have access directly to the trail from the rear yard where feasible.
 2. Buffer along the south property line abutting an existing multi-family property: Provide a Type F2 Buffer Yard as described in Figure C. The fencing requirement shall be waived for this buffer.
 3. Buffer along Highway FM 156: Provide a Type B Buffer Yard, as described in Figure C, along the highway frontage. Coordinate the exact location of the buffer yard with the city to accommodate existing conditions including overhead utility lines. A single shade tree species, selected from Table 52-9, shall be utilized consistently along the Highway frontage.
 4. Parking lot landscaping requirements: The following is intended to expand on the requirements set forth in Sec. 52-208.
 - i. Provide planter islands as indicated in Sec 52-208 with the following modifications: 100% of required planters to have shade trees, except that planter islands that have light poles may substitute two understory/accent trees for the required canopy tree.; in no case shall there be more than 12 parking spaces in a row without a planter and tree. Disperse trees throughout parking lots to achieve maximum shade coverage.

- ii. Parking lots that face a Type 'A' Street as designated on the Justin Town Square Regulating Plan, and along Tally Boulevard, shall be screened with a hedge of evergreen shrubs obtaining a mature height greater than 24 inches. Any approved hedge shrubs must be a minimum of eighteen inches in height at the time of planting, and spaced on minimum 24-inch centers. Hedge shall be maintained at a height of 24"-42".
5. Landscaping placed in any easement shall be reviewed and may be approved by the Development Review Committee in conjunction with the Site Plan process.

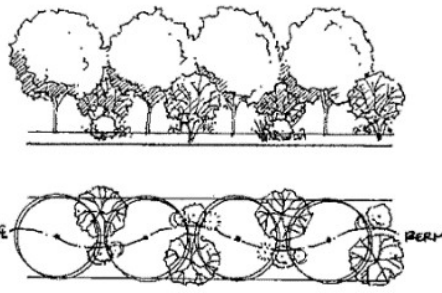
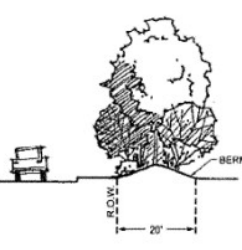
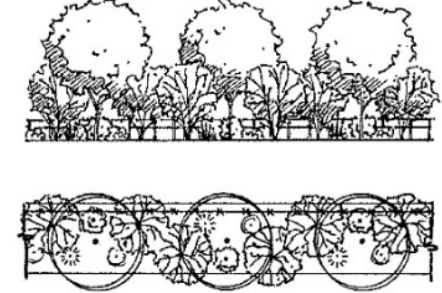
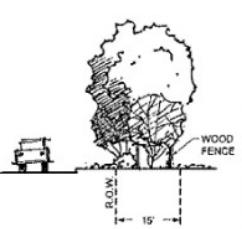
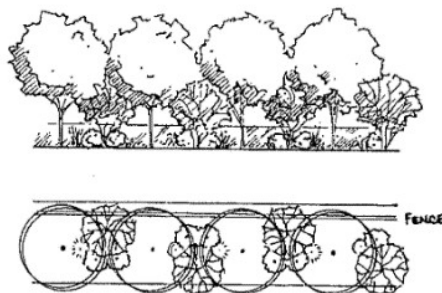
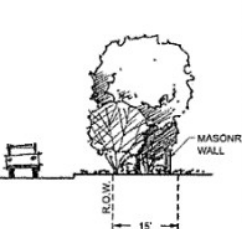
<p>Buffer Yard 'E'</p> <ul style="list-style-type: none"> • 20-foot min. width • Min. 4 canopy trees • Min. 4 understory trees • Min. 10 screening shrubs • Min. 3-ft high berm required, with max. slope of 3:1 		
<p>Buffer Yard 'F1'</p> <ul style="list-style-type: none"> • 15-foot min. width • Min. 3 canopy trees • Min. 6 understory trees • Min. 10 screening shrubs • 6-ft high fence required, see Item 3 for required structures, this section. 		
<p>Buffer Yard 'F2'</p> <ul style="list-style-type: none"> • 15-foot min. width • Min. 4 canopy trees • Min. 4 understory trees • Min. 12 screening shrubs • 6-ft high fence required, see Item 3 for required structures, this section. 		

Figure C

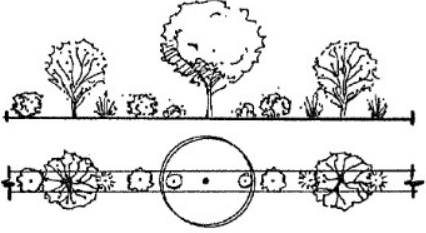
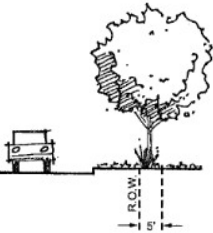
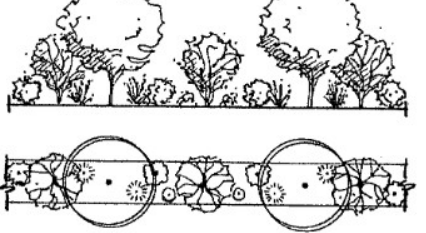
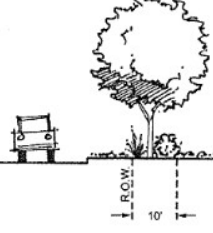
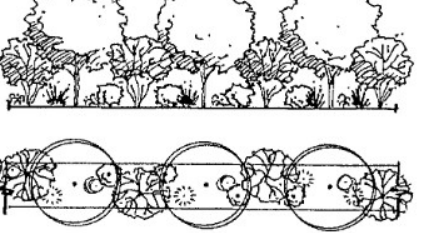
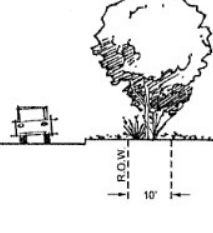
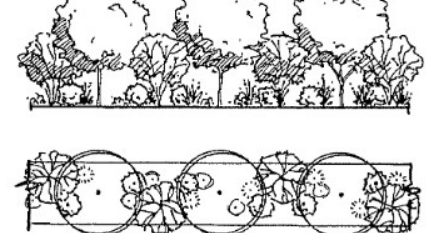
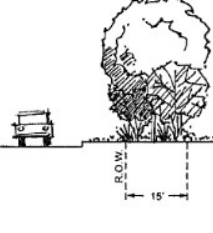
<p>Buffer Yard 'A'</p> <ul style="list-style-type: none"> • 5-foot min. width • Min. 1 canopy tree • Min. 2 understory trees • Min. 8 screening shrubs • No fence or berm required 		
<p>Buffer Yard 'B'</p> <ul style="list-style-type: none"> • 10-foot min. width • Min. 2 canopy trees • Min. 3 understory trees • Min. 10 screening shrubs • No fence or berm required 		
<p>Buffer Yard 'C'</p> <ul style="list-style-type: none"> • 10-foot min. width • Min. 3 canopy trees • Min. 4 understory trees • Min. 12 screening shrubs • No fence or berm required 		
<p>Buffer Yard 'D'</p> <ul style="list-style-type: none"> • 15-foot min. width • Min. 3 canopy trees • Min. 4 understory trees • Min. 18 screening shrubs • No fence or berm required 		

Figure D

- L. Usable Open Space Standards: A minimum of 5% of the land area by Sub-district shall be designated as usable open space which shall meet the following criteria:
1. Improvements: Usable open space shall consist of landscaped open space areas that are intended for passive, active or visual enjoyment and may include seating, fountains, gardens, pergolas, landscaped areas, landscaping buffers and café dining. Up to 75% of the required area may be paved with concrete or unit pavers (asphalt not permitted). Paved areas used to comply with Usable Open Space Standards shall be provided with shade trees not less than one per 1,000 sf of paved area.
 2. Location: Usable Open Space shall be located anywhere on a property, including along a public street or public easement, adjacent to a building entrance, or along a public trail. Parking lot

landscaping, or open space that is surrounded by parking lots, or landscaping within the public right-of-way or public access easement, shall all count toward this requirement.

M. Sign Regulations: Standards in Chapter 36, Sign Regulations, of the City of Justin Code of Ordinances shall apply to the Justin Town Square PD with the following modifications:

1. Monument signs shall not be permitted on a Type 'A' street as designated on the Regulating Plan.
2. Projecting signs: building occupants that are classified as commercial uses for Entertainment and Eating, may utilize a projecting sign as all or part of the area allowance for wall signs. Projecting signs are to be double sided and may incorporate LED neon type lighting. Examples of projecting signs are shown in Figure E.



Figure E Examples of projecting signs

3. Blade signs and canopy signs: In addition to the signs permitted in Chapter 36, each tenant space shall be permitted to have one blade sign OR canopy sign located within 15 feet of the occupant entry door. The area of the Blade or canopy sign shall not count against the area of other permitted signs.
 - i. Blade signs: Shall be mounted to the building wall and project at a 90 degree angle. Signs shall not exceed 8 sf and have a head clearance of 8 feet from the sidewalk elevation. See example in Figure F.
 - ii. Canopy sign: Shall be mounted to the underside of a fixed canopy or awning structure. Signs shall not exceed 8 sf and have a head clearance of 8 feet from the sidewalk elevation. See example in Figure F.



Figure F Left, example blade sign; right, example canopy sign

N. Transportation and Trails

1. Streets – Any Public and/or Private Streets or Driveways shall meet the minimum standards as set forth in Section 42-81 of the Justin Code of Ordinances, however cross-sections that do not meet those minimum standards, but that encourage urban pedestrian-oriented development can be approved by the City Manager.
2. Trail System
 - i. The Project shall integrate an off-street Trail System as each parcel on the Trail System is built upon providing pedestrian and bicycle connectivity within the GMU and CMU Zoning Districts. The Trail System shall include a meandering path for pedestrians and bicycles with a minimum width of eight (8) feet, except where the trail is along a roadway in which case it is not required to meander. The Trail System shall integrate with the required sidewalks to create a continuous path throughout the Project between Reatta Park and Bishop Park.
 - ii. A town square park shall be located between the Civic Mixed-Use Tract and the General Mixed-Use Tract, as generally shown in Appendix “A”. This pocket park may not function as drainage/detention pond, but may count towards open space requirements.
 - iii. All drive aisles and sidewalks shall be designed, and easements conveyed to connect to existing or future drive aisles, sidewalks, trails, or parks on adjacent parcels.

O. Lighting

1. All lighting standards shall comply with the Code of Ordinances.
2. Solar lighting shall be allowed in the development as depicted in Figure A.
3. Photometric Plans shall be submitted with the site plan for on-site lighting.
4. Photometric Plans for roadways shall be submitted with the construction plans.

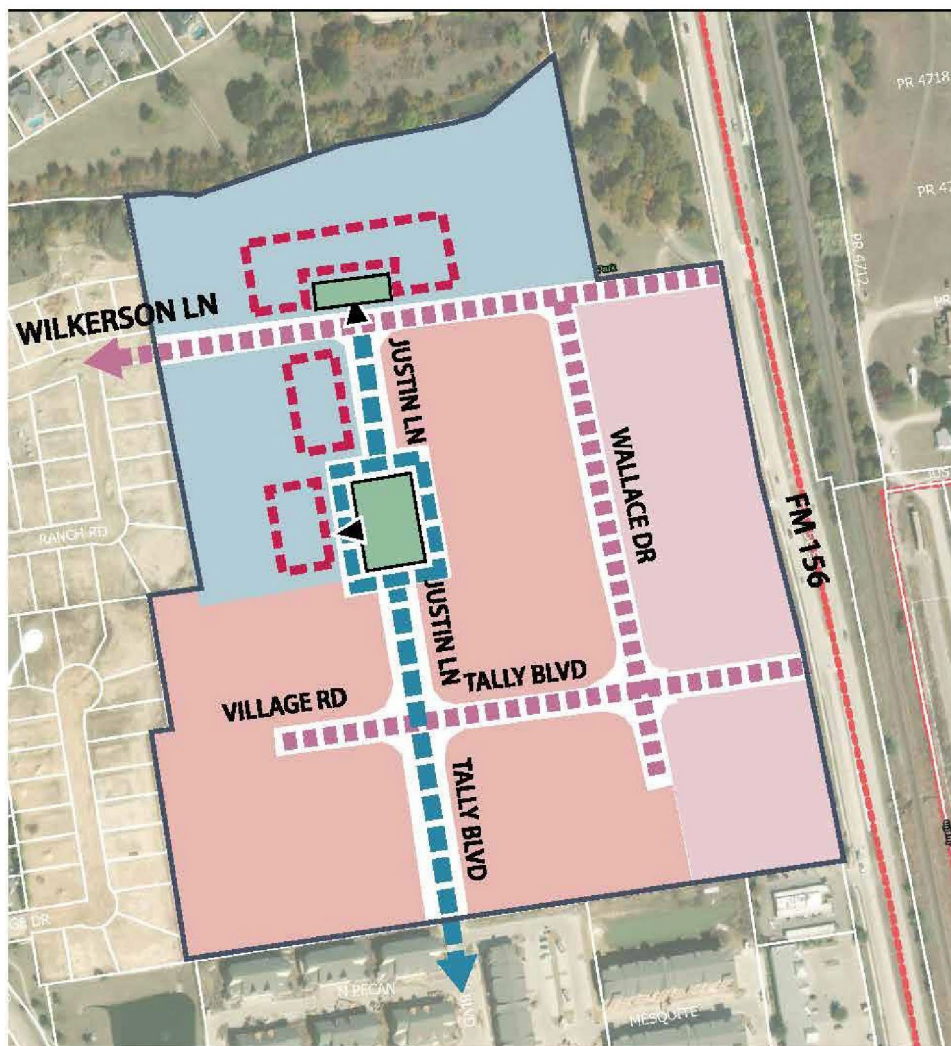


Figure A Example of solar lighting

- P. Definitions: Many terms used in this PD are defined in the Section 52-1 of the City of Justin Zoning Ordinance. Definitions are only included here if not defined in the Zoning Ordinance, Subdivision Regulations, or Sign Ordinance, or if the definition for this PD differs from the existing definitions. In case of a conflict between the definitions under this Section and other city ordinances, the definitions in this section shall supersede.
1. Day-care center (adult or child): A child day care establishment primarily cares for more than six (6) infants and/or minors and often may offer recreation and education programs. These facilities are licensed, certified, or registered by the State to provide their respective services. Adult day care establishments provide care during the day for six (6) or more adults with disabilities or seniors. These facilities are licensed, certified, or registered by the State to provide their respective services.

2. Standalone emergency care or urgent care center: An urgent care center is a walk-in clinic focused on the delivery of medical care for minor illnesses and injuries in a stand-alone medical facility outside of a traditional hospital-based or freestanding emergency department (ED). Other names for similar types of facilities include but are not limited to after-hours walk-in clinics, minute clinics, quick care clinics, minor emergency centers, and minor care clinics.
3. Indoor amusement or recreation center: These establishments operate fitness and recreational sports facilities, or, provide services for fitness or recreational sports teams, clubs, or individual activities within enclosed structures. The facilities-operating establishments to be classified here include, but are not limited to: fitness clubs, gyms, enclosed arenas, enclosed recreational ball parks and courts, amusement centers and more. This category also includes facilities for a wide variety of indoor sports, entertainment, games of skill, or recreation to the general public for a fee where the activity takes place within an enclosed structure. Examples include but are not limited to bowling, billiards, darts, paintball, laser tag or similar activities; gymnasium or indoor arena; basketball, handball, soccer, and tennis courts; hockey rinks; swimming pools; physical fitness centers; and amusement devices. This category shall not include amusement devices that include gambling games.
4. Lodge or civic club: Any organization operating under a nonprofit or similar charter, the activities of which are devoted exclusively to charitable, benevolent, patriotic, employment- related, recreational, or educational purposes not currently listed elsewhere in this Chapter. Such an establishment may include the preparation and service of food and/or drink for members and their guests only.
5. Alternative Lending institution: A payday advance/loan business or a motor vehicle title loan business. An alternative financial institution does not include state or federally chartered banks, community development financial institutions, savings and loans, credit unions, or regulated lenders licensed in accordance with Chapter 342 of the Texas Finance Code. If a regulated lender licensed in accordance with Chapter 342 of the Texas Finance Code also offers services as a "credit service organization" and/or a "credit access business" under Chapter 393 of the Texas Finance Code, that business is an alternative financial establishment.
6. Learning Center: An educational establishment, facility or program that facilitates students' acquisition of knowledge or understanding of topics by providing additional support and personalized instruction. Often in which skill-specific sets of activities are developed for students to work on independently at their own pace, in a team or in a classroom environment. The specific tools and materials available vary by facility or program but can include enrichment and recreational activities, tutoring, computer and Internet practice, counseling, and other services.
7. Therapy Provider: An establishment whose primary purpose is the treatment of developmental, physical and/or psychological impairment, injury, disease, or disorder, as by some remedial, rehabilitating, learning or curative process to improve one's quality of life.
8. Lot Coverage: The lot area covered by all buildings located thereon.
9. Bar, tavern, or cocktail lounge: Any establishment which derives fifty-one percent (51%) or more of the establishment's gross revenue from the on premise sale of alcoholic beverages.

APPENDIX A – REGULATING PLAN



SUBDISTRICTS

- Highway Commercial (HC)
- General Mixed-Use (MU)
- Civic Mixed-Use (CMU)

FRONTAGES

- 'A' Frontage
- 'B' Frontage

SPECIAL REQUIREMENTS

- D** Required Usable Open Space
- i.i** Recommended Civic Building Location
- Terminated Vista



Justin Town Square

Justin, TX





ORDINANCE NUMBER _____

AN ORDINANCE OF THE CITY OF JUSTIN, TEXAS, APPROVING AN AMENDMENT TO THE PLANNED DEVELOPMENT (GB-PD) FOR JUSTIN TOWN SQUARE APPROXIMATELY 41.44 ACRES HAVING THE LEGAL DESCRIPTION LOTS 1 – 7, BLOCK 1, LOTS 1-3, BLOCK 2, LOT 3A, BLOCK 3, and LOT A, BLOCK 4 JUSTIN TOWN SQUARE, HARDEMAN CENTRE ADDN PH 1 BLK 2 LOT 1, JWR 711 ADDITION BLK A LOTS 1- 3, DENTON COUNTY, TEXAS; PROVIDING AN INCORPORATION OF PREMISES; PROVIDING A CUMULATIVE/REPEALER CLAUSE, PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Justin and Office Equity Solutions entered into a Chapter 380 agreement for the Justin Town Square development; and

WHEREAS, the City of Justin and Office Equity Solutions requested to amend the previously approved Planned Development to allow Solar lighting, restrict medical uses, and permit a Hotel through a Specific Use Permit in the Civic Mixed Use sub-district (CMU); and

WHEREAS, the Planning and Zoning Commission of the City of Justin (the “Commission”), in compliance with the laws of the State of Texas, gave the requisite notices by publication and otherwise, and held public hearings and afforded full and fair hearings to all property owners generally and to all persons interested in this regard; and

WHEREAS, having reviewed the request for the residential development the Commission determined that the zoning change was compatible with surrounding uses and the City’s Future Land Use Plan and recommended approval of this Ordinance; and

WHEREAS, the City Council of the City of Justin, in compliance with the laws of the State of Texas, having given the requisite notices by publication and otherwise, having held public hearings and afforded full and fair hearings to all property owners generally and to all persons interested in this regard, and having considered the recommendation of the Planning and Zoning Commission, has determined that the proposed zoning change is approved and made a part of this ordinance

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JUSTIN, TEXAS:

Section 1. Incorporation of Premises. That all of the above recitals are found to be true and correct and are incorporated into the body of this ordinance as if fully set forth herein.

Section 2. That the Zoning Ordinance of Justin, Texas, regulating property described above is amended to establish a General Business- Planned Development for Justin Town Square as seen in Exhibit A below.

Section 3. Applicable Regulations/Zoning Ordinance and Zoning Map Amended. Development and use of the property shall follow this ordinance, including all Exhibits thereto as

amended hereby, the Code of Ordinances of the City of Justin, Texas, and all applicable state and federal law.

Section 4. Cumulative/Repealer Clause. This ordinance shall be cumulative of all provisions of state or federal law and all ordinances of the City of Justin, Texas, except where the provisions of this ordinance are in direct conflict with the provisions of such other ordinances, in which event the conflicting provisions of such ordinances are hereby repealed to the extent of such conflict.

Section 5. Severability Clause. If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portions of this ordinance, or the Comprehensive Zoning Ordinance, Chapter 52 of the City of Justin Code of Ordinances, and the remaining portions shall remain in full force and effect.

Section 6. Effective Date. This ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law in such cases provides.

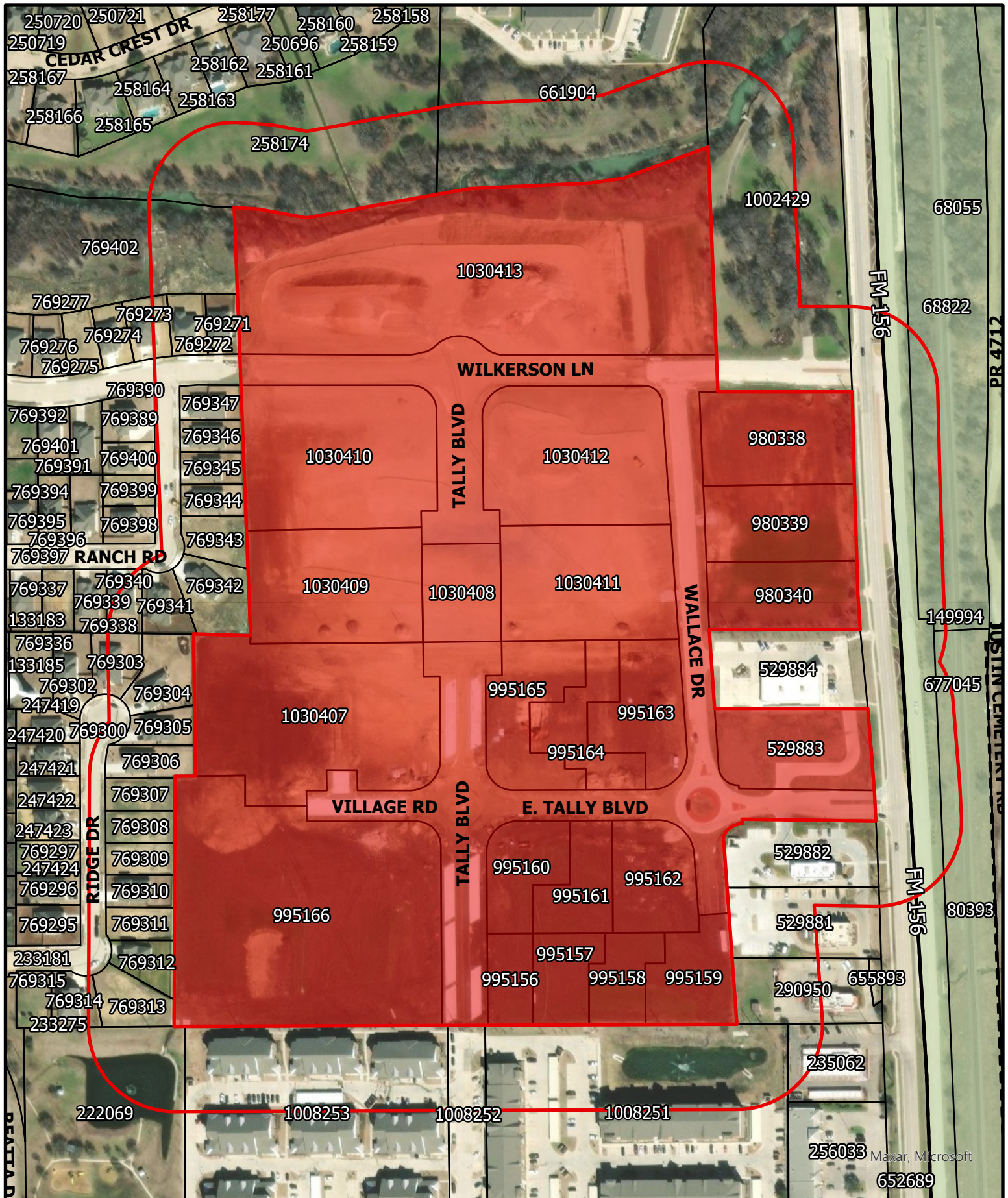
James Clark, Mayor

ATTEST:

Brittany Andrews, City Secretary

Approved as to form:

City Attorney



Legend

- Justin City Limits
- Justin ETJ

- Justin Town Square
- 200ft Notice Radius

0 125 250 375 Feet



Justin Town Square PD Amendment City of Justin, TX

Dated: 03/08/24